

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: July 7, 2005

ITEM NO. \_\_\_\_\_

CASE NUMBER/ PROJECT NAME	<b>25-DR-2005</b> <b>Comerica Branch Bank</b>		
LOCATION	7306 E. Shea Boulevard		
REQUEST	Request approval of a site plan and elevations for a full-service banking institution.		
OWNER	Comerica Bank 310-725-4192	ENGINEER	DRW Engineering 602-246-1111
ARCHITECT/ DESIGNER	DWL Architects 602-264-9731	APPLICANT/ COORDINATOR	Jeremy Jones DWL Architects 602-264-9731
BACKGROUND	<p><b>Zoning.</b></p> <p>The site is zoned Central Business District (C-2). The C-2 zoning district allows for commercial activities designed to serve the community. Banks are allowed in this district.</p> <p><b>Context.</b></p> <p>The site is located on 7306 East Shea Boulevard, and east of the southeast corner of Scottsdale Road and Shea Boulevard. The proposed bank will be located on a vacant pad at the southern property boundary of The East Shea Shopping Center.</p> <p>Adjacent Uses:</p> <ul style="list-style-type: none"><li>• North: Developed, Commercial Zoned C-2</li><li>• South: Developed, Commercial Zoned C-2, C-3</li><li>• East: Developed, Service Residential S-R, Vacant.</li><li>• West: Developed, Commercial Zoned C-3</li></ul>		
APPLICANT'S PROPOSAL	<p><b>Applicant's Request.</b></p> <p>The request is for approval of site plan, landscape plan, and elevations for a new one-story bank. The site circulation and parking exists, additional open space will be provided with this application.</p> <p><b>Development Information:</b></p> <ul style="list-style-type: none"><li>• Existing Use: Vacant Pad</li><li>• Proposed Use: Bank</li><li>• Parcel Size: 37,440 Square Feet</li><li>• Building Size: 3,300 Square Feet</li><li>• Building Height Allowed/Proposed: Allowed: 35 Feet, Proposed 28 Feet 10 Inches</li><li>• Parking Required/Provided: Required 14 spaces, Proposed 21 spaces.</li></ul>		

The entire center is parked one space for every 250 square foot of building space.

- Open Space Required/Provided: Open space requirement is provided by the existing center. The applicant proposes additional open space to meet the parking landscape requirements.
- FAR: .8

#### DISCUSSION

The existing site is an undeveloped pad. The site will be accessed via Shea boulevard from the south, and by cross access easements within the existing shopping center. The entrance to the building is through the tower element. Two drive-through banking lanes are proposed along the west side of the building.

The building is constructed of stucco painted flat beige to match the existing center. The stucco accents bands are flush and painted dark brown. The roof is clay tile (westile terracotta black flashed) to match the existing buildings within the center. Prefinished aluminum trim is used on the fascia and an aluminum perforated curtain wall system painted dark brown is proposed at the tower entry. Aluminum storefront windows glazing type is Viracon one inch OA VRE4-54 insulated HS/AN (Bronze tint 14% visible light reflective). All windows to be recessed a minimum of 50% of wall depth.

The applicant has proposed to enhance the existing landscape plant material along Shea Boulevard, and provide 3 additional parking lot landscaped isles. The proposed landscaping includes a xeriscape palette with arid planting of desert varieties to include a combination of Texas Mountain Laurel, Sissoo Tree, Jacaranda, Mondel Pine, and African Sumac trees. All existing shrubs and trees to remain.

#### OTHER BOARDS AND COMMISSIONS

93-ZN-1984 Annexed as R1-35 in 1963; rezone to mixed uses, 20-ZN-1992; Amend traffic stipulations, 50-DR-1994; Approve site plan and elevations for a retail center, 50-DR-1994#2; Coco's bakery and restaurant, 39-UP-2000; Health studio, 1-UP-2003.

#### STAFF RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)      Greg Williams  
Senior Planner  
Phone: 480-312-4205  
E-mail: gwilliams@ScottsdaleAZ.gov

APPROVED BY

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Greg Williams  
Report Author

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Lusia Galav, AICP  
Development Planning Manager  
Phone: 480-312-2506  
E-mail: lgalav@scottsdaleAZ.gov

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements

July 7, 2005

Case #25-DR-2005

**Comerica Branch Bank**

7306 East Shea Blvd.  
Scottsdale, AZ 85260

**Development Review Board**

**Project Description**

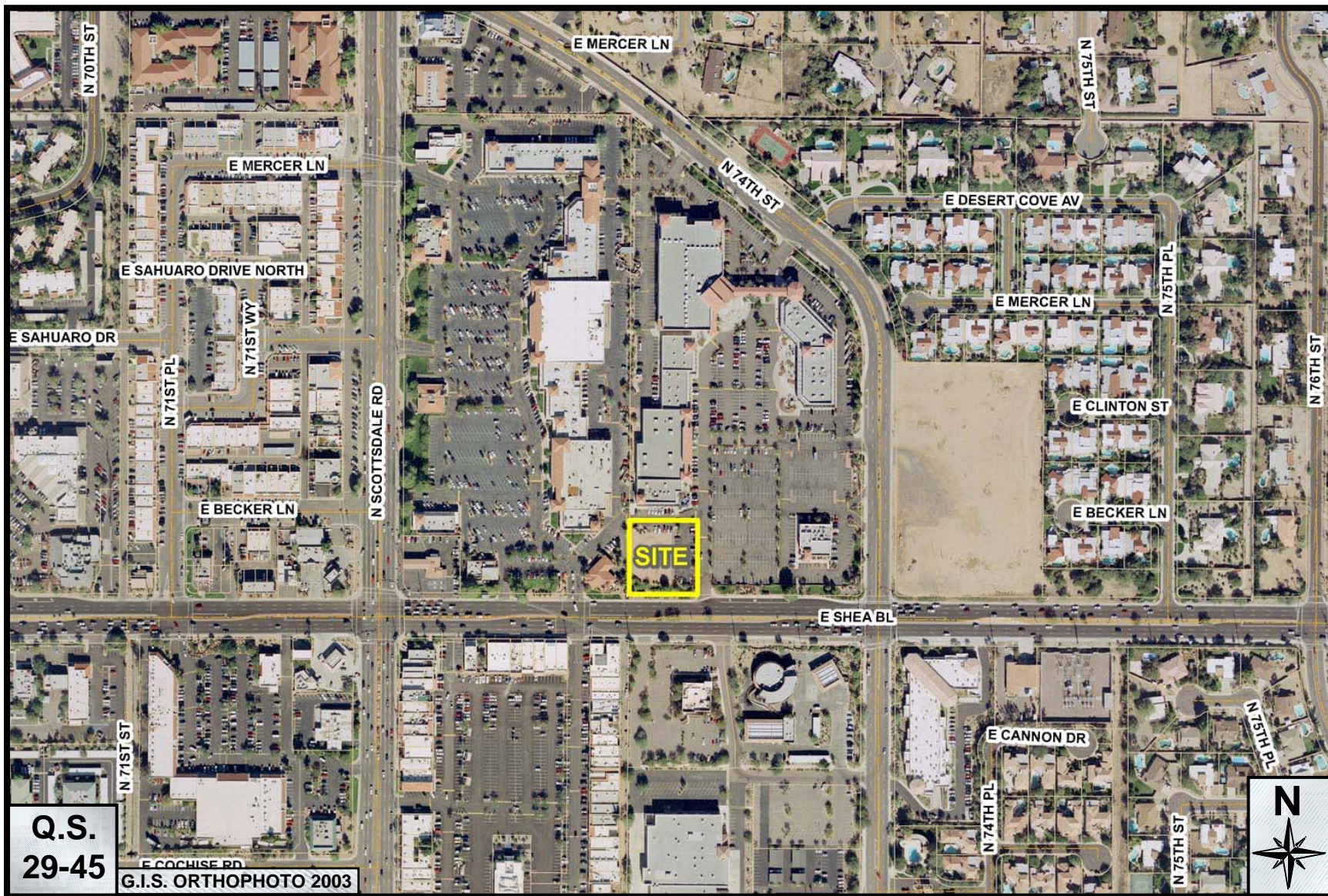
Comerica Bank is a full service banking institution from Detroit, Michigan. The Shea & Scottsdale Branch Bank is one of several proposed Comerica banking locations throughout the Valley. Comerica Bank is expanding its territory to the West beginning with Arizona and California. This expansion carries with it Comerica's dedication to quality and community, as exemplified through the Comerica Ballpark, home of the Detroit Tigers.

The Comerica Branch Bank at Shea & Scottsdale will offer clients a variety of amenities. The two (2) drive thru lanes will allow patrons convenient access to tellers or an ATM. With ample parking and pedestrian access the Shea East Shopping Center, clientele can easily reach the building for their full service banking needs.

The proposed Branch Bank building reflects its Detroit branch counterparts while adapting to the Valley's environment and commercial texture. In this case, the off-white stucco and clay tile roof will be utilized to match exactly with the surrounding East Shea Shopping Center. Similarly, the signage will match the existing red channel letter style signs already in place throughout the center. This adaptation of the Detroit model allows current patrons to recognize the Detroit bank in its new context while simultaneously inviting new customers to become part of the Comerica banking community.

The existing site is an empty pad. The original site design allowed for a 10,000 SF building. The Comerica Bank will be approximately 3,300 SF in order to allow more space for parking and landscaping to enhance the center. The new building and landscaping will not only amplify the quality of the shopping center, but they will also act as a beacon inviting patrons into the complex.



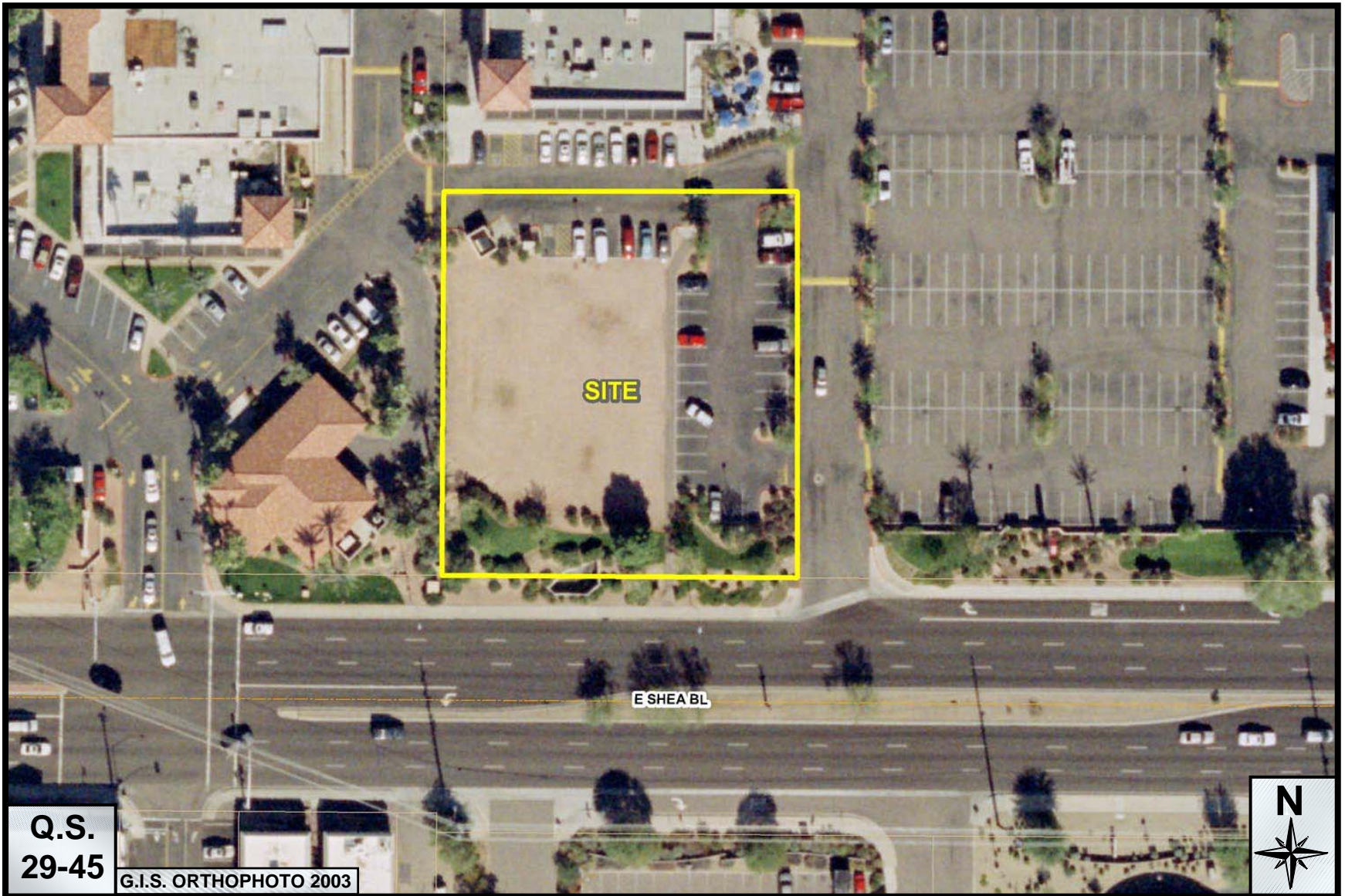


Comerica Branch Bank

25-DR-2005

ATTACHMENT #2

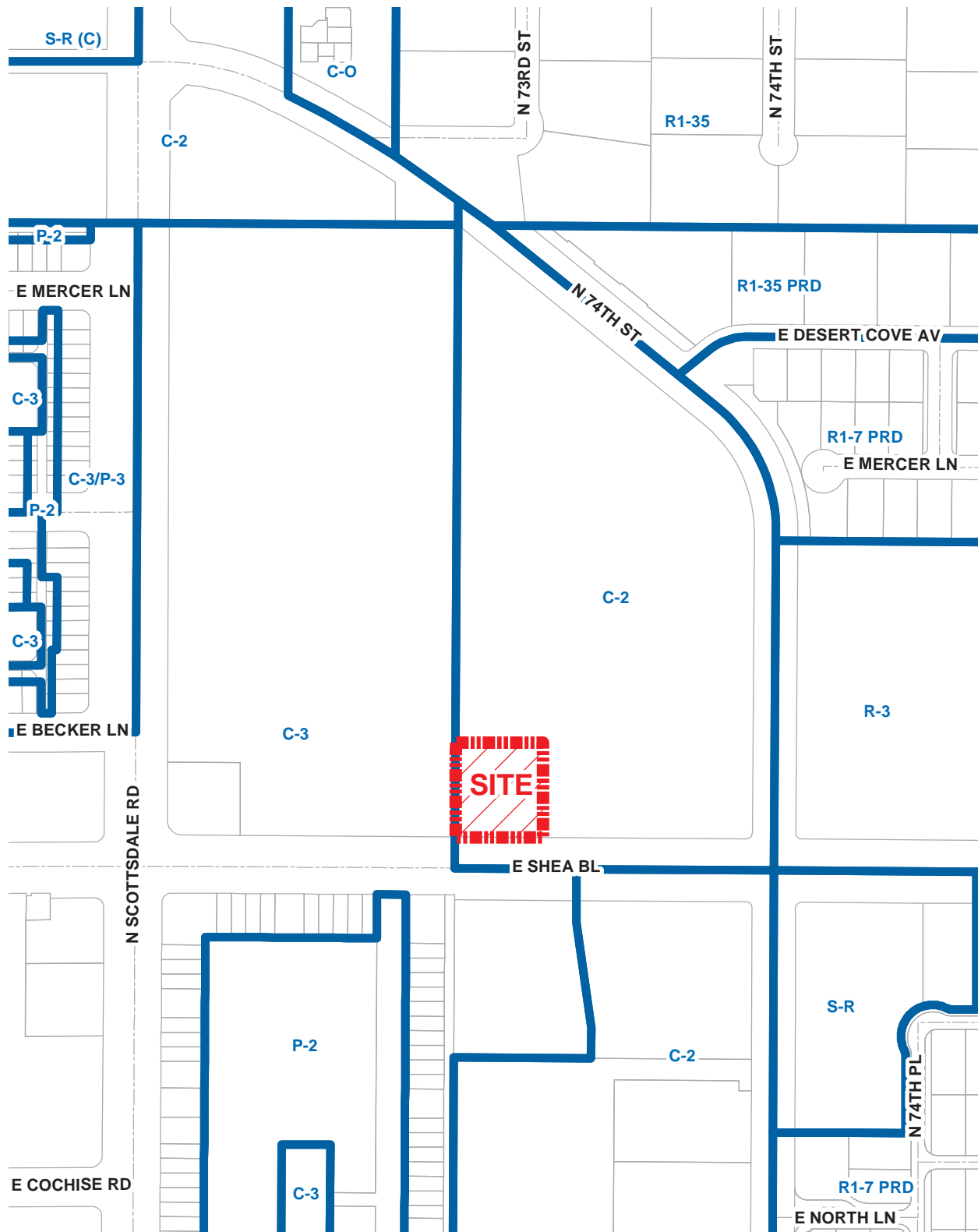




Comerica Branch Bank

**25-DR-2005**

ATTACHMENT #2A

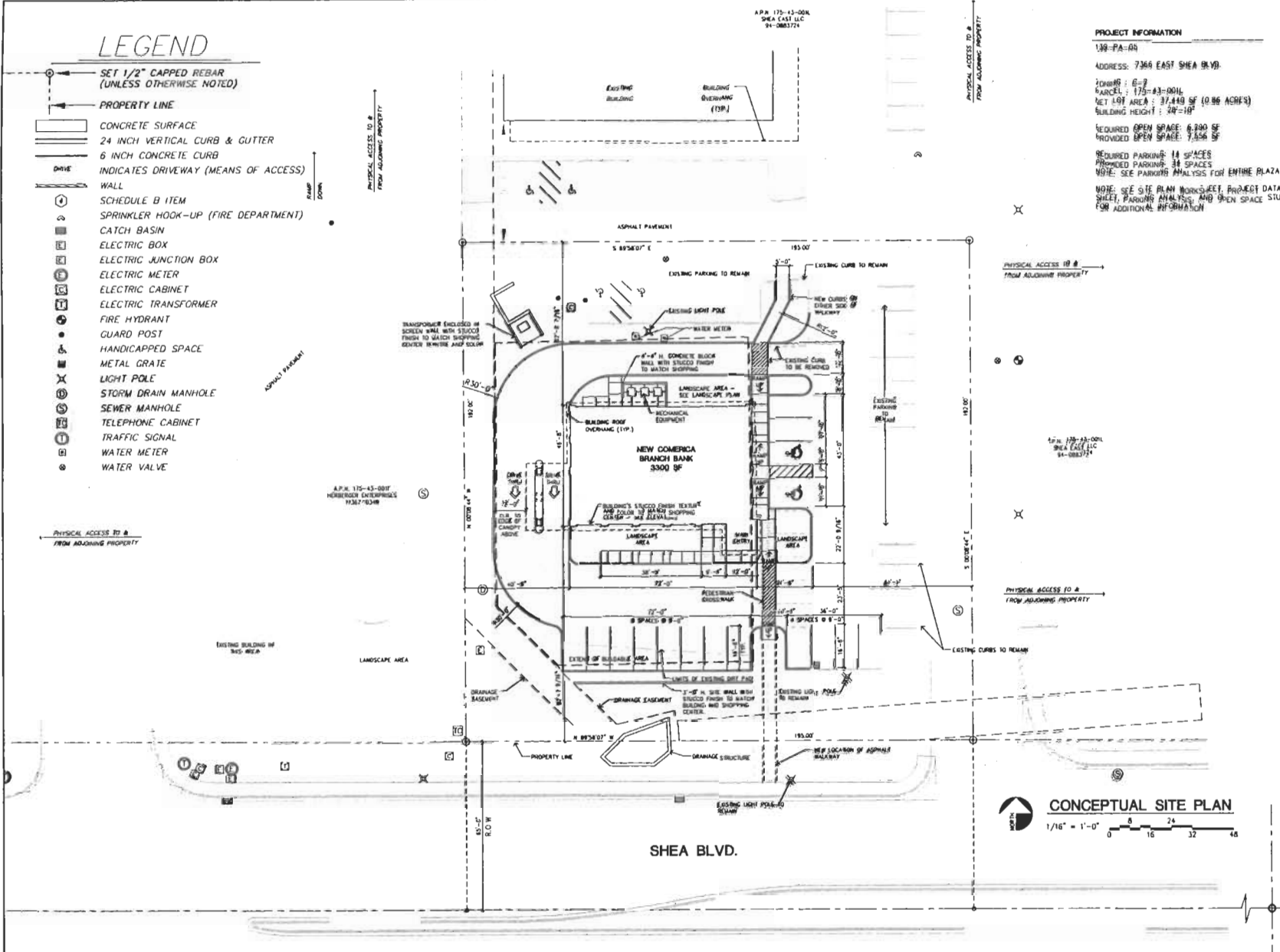


25-DR-2005

ATTACHMENT #3

# LEGEND

- SET 1/2" CAPPED REBAR (UNLESS OTHERWISE NOTED)
- PROPERTY LINE
- CONCRETE SURFACE
- 24 INCH VERTICAL CURB & GUTTER
- 6 INCH CONCRETE CURB
- INDICATES DRIVEWAY (MEANS OF ACCESS)
- WALL
- SCHEDULE B ITEM
- SPRINKLER HOOK-UP (FIRE DEPARTMENT)
- CATCH BASIN
- ELECTRIC BOX
- ELECTRIC JUNCTION BOX
- ELECTRIC METER
- ELECTRIC CABINET
- ELECTRIC TRANSFORMER
- FIRE HYDRANT
- GUARD POST
- HANDICAPPED SPACE
- METAL GRATE
- LIGHT POLE
- STORM DRAIN MANHOLE
- SEWER MANHOLE
- TELEPHONE CABINET
- TRAFFIC SIGNAL
- WATER METER
- WATER VALVE



**PROJECT INFORMATION**  
 138-PA-04  
 ADDRESS: 7366 EAST SHEA BLVD.  
 ZONING: B-2  
 PARCEL: 175-43-001L  
 NET LOT AREA: 37,449 SF (0.86 ACRES)  
 BUILDING HEIGHT: 34'-10"  
 REQUIRED OPEN SPACE: 6,390 SF  
 PROVIDED OPEN SPACE: 7,526 SF  
 REQUIRED PARKING: 14 SPACES  
 PROVIDED PARKING: 34 SPACES  
 NOTE: SEE PARKING ANALYSIS FOR ENTIRE PLAZA  
 NOTE: SEE SITE PLAN WORKSHEET, PROJECT DATA SHEET, PARKING ANALYSIS, AND OPEN SPACE STUDY FOR ADDITIONAL INFORMATION

DWL ARCHITECTS  
 3333 North Central Avenue  
 Phoenix, Arizona 85018  
 Tel: 602.964.8733 Fax: 602.964.8734

STATE OF ARIZONA  
 PROFESSIONAL ENGINEER  
 NO. 24,949  
 EXPIRATION DATE 12/31/04

TRANSMILL CROW COMPANY  
**COMERICA BANK**  
 7306 EAST SHEA BLVD.  
 SCOTTSDALE, ARIZONA 85260

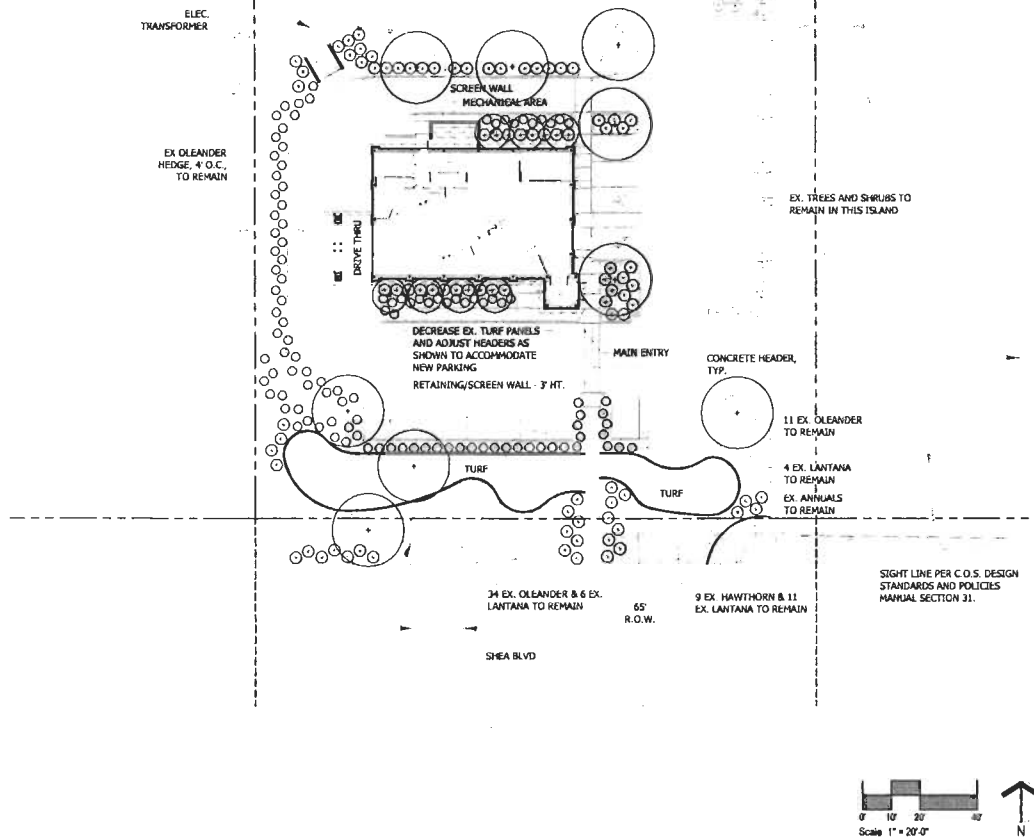
COMERICA BANK  
 DEVELOPER

**DEVELOPMENT REVIEW BOARD SUBMITTAL**  
 DATE: 6/9/2005  
 NOT FOR CONSTRUCTION

**CONCEPTUAL SITE PLAN**  
 SHEET NO. SP-1  
 DATE: 6/9/2005  
 DRAWN BY: C.T.  
 CHECKED BY: C.T.  
 SCALE: 1/16" = 1'-0"

25-DR-2005  
 6/9/2005





## NOTES:

1. At least 50% of all trees shall be mature in size (10'-12' tall by 5" wide, or 2" caliper single trunk, 1" avg. caliper multi-trunk) and shall conform to the COS minimum tree size requirements.
2. All landscaped areas (except those that are turf) shall be covered in decomposed granite.
3. Decomposed granite color and size to match existing.
4. All proposed plant material (except turf) are included on the "Low Water Use Plant List" prepared by the Arizona Department of Water Resources.
5. Turf / water intensive landscape areas shall not exceed 2,370 sq.ft. and will not occur within the ROW.
6. All landscaped areas shall be irrigated by an automatic system.
7. Landscaped areas in decomposed granite shall not exceed more than seven feet in any one direction measured between plant canopies.
8. Existing oleander shrubs on site are on average 3-1/2 to 4 foot tall in all cases.

## PLANT LEGEND

PLANT TYPE	SIZE	QTY.
Existing Tree to Remain		10
Existing Shrub to Remain		109
Tree	36" Box 24" Box	9 0
Small Tree	24" Box	7
Shrub	5 Gallon	66
Accent	5 Gallon	24
Shrub / Groundcover	1 Gallon	112

## LANDSCAPE AREA TOTALS:

TOTAL LANDSCAPE AREA = 13,272 SQ. FT.

ON-SITE LANDSCAPE AREA = 7,834 SQ. FT.

ROW LANDSCAPE AREA = 2,496 SQ. FT.

PARKING LANDSCAPE AREA = 1,920 SQ. FT.

INTERNAL PARKING LOT LANDSCAPE AREA = 1,022 SQ. FT.

TURF AREA = 2,370 SQ. FT.

## PRELIMINARY PLANT PALETTE

## TREES:

Bauhinia lunanodes  
Calceolaria  
Jacaranda mimosifolia  
Pinus edulis  
Pithecellobium hesperale  
Rhus lancea  
Sophora secundiflora  
Thevetia peruviana

Anacacho Orchid Tree  
Sierra Tree  
Jacaranda  
Ponderosa Pine  
Texas Ebony  
African Sumac  
Texas Mountain Laurel  
Yellow Oleander

## SHRUBS:

Bougainvillea spp.  
Delonix reginae  
Lantana camara 'Radiation'  
Nerium oleander 'Peach Pink'  
Raphanocarpus indica  
Ruellia brittoniana  
Tacoma x 'Orange Jubilee'

Bougainvillea  
Sierra Negra  
Radiation Lantana  
Peach Pink Oleander  
Indian Hawthorn  
Blue Ruella  
Orange Bell

## ACCENTS:

Agave spp.  
Aloe barbadensis  
Daylily longissima  
Daylily wheelers  
Hesperaloe parviflora  
Hesperaloe parviflora  
Muhlenbergia capillaris  
Muhlenbergia rigens

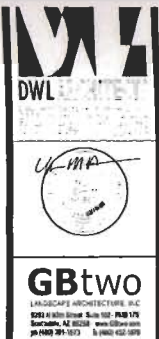
Agave  
Medicinal Aloe  
Toothless Spoke  
Desert Spoon  
Giant Hesperaloe  
Red Yucca  
Regal Palm  
Deer Grass

## GROUNDCOVER:

Lantana montevidensis  
Lantana 'New Gold'

Purple Trailing Lantana  
New Gold Lantana

PRELIMINARY  
NOT FOR  
CONSTRUCTION



TRAMMELL CROW COMPANY  
**COMERICA BANK**  
7306 EAST SHEA BLVD.  
SCOTTSDALE, ARIZONA 85260

OWNER:  
**Comerica**  
DEVELOPER:  
TRAMMELL CROW COMPANY

DEVELOPMENT  
REVIEW BOARD  
SUBMITTAL

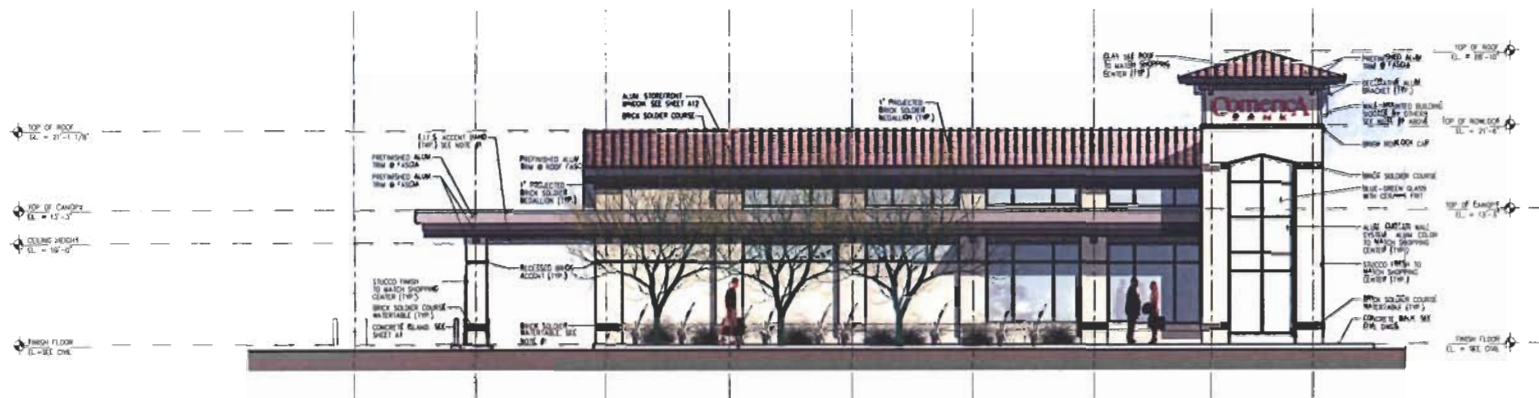
PRELIMINARY  
LANDSCAPE  
PLAN

L-1

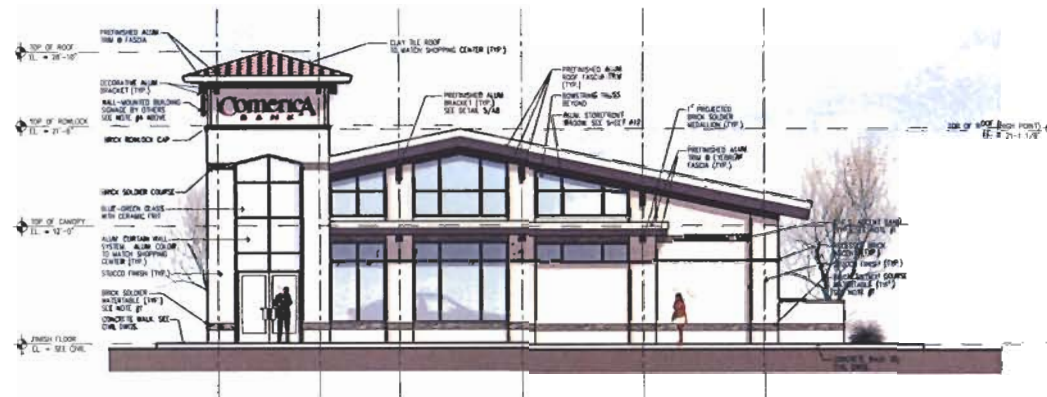
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6/9/2005

25-DR-2005  
6/9/2005

STREETSCAPE ELEVATION / PERSPECTIVE  
NOT TO SCALE



**SOUTH ELEVATION**  
3/16"x1'-0"



**EAST ELEVATION**  
3/16"x1'-0"

**ELEVATION NOTES**

- BRICK SOLIDER COURSE SHALL BE WATERPROOFED TO BE FLUSH WITH ALL STUCCO PLASTER AT CORNERS AND HAVE 1/2" PROJECTION OF ALL TYPICAL STUCCO WALLS (BETWEEN PLASTER).
- NOTES TO BE COORDINATED WITH ARCHITECT FOR LOCATION OF LOUVERS, PIPING, KENTS, AND OTHER SMALL PENETRATIONS.
- PAINT EQUIPMENT BY OTHERS, E.C. TO COORDINATE LOCATION AND INSTALLATION OF PAINT EQUIPMENT SUPPLIER.
- BUILDING SIGNAGE BY OTHERS, E.C. TO COORDINATE LOCATION AND INSTALLATION BY SIGNAGE SUPPLIER (REFER TO ELECTRICAL SHEDS FOR LIGHTING REQUIREMENTS).
- LIGHT COLOR STUCCO SHALL BE PAINTED FRAZEE COMPOSITE (LOWGAIN) DARK BROWN ACCENT STUCCO AND PAINTED METAL SHALL BE PAINTED FRAZEE BROWN RAINFALL (FRODO) - SEE COLOR DRAWINGS.



**DWL ARCHITECTS**  
DWL Architects & Planners, Inc.  
2333 North Central Avenue  
Phoenix, Arizona 85004-1333  
Tel: 602.244.8737 Fax: 602.244.1001



TRAMMELL CROW COMPANY  
**COMERICA BANK**  
7306 EAST SHEA BLVD.  
SCOTTSDALE, ARIZONA 85260

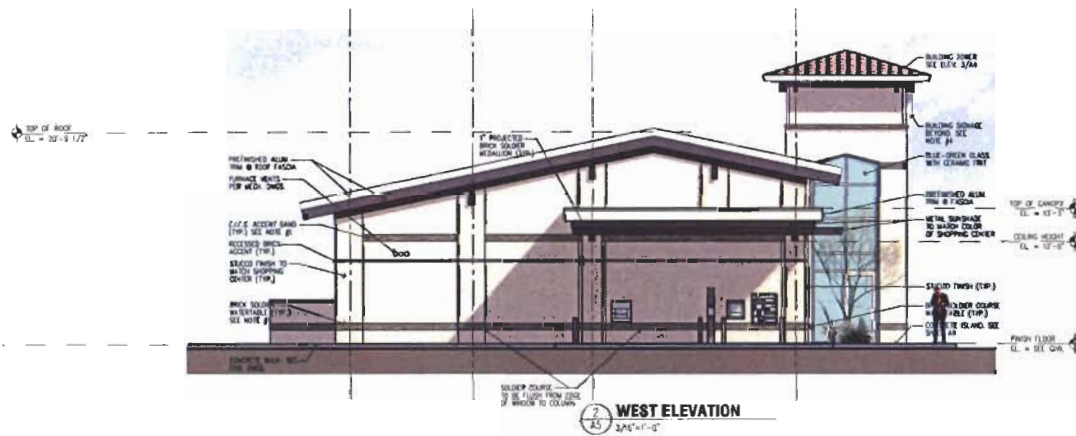
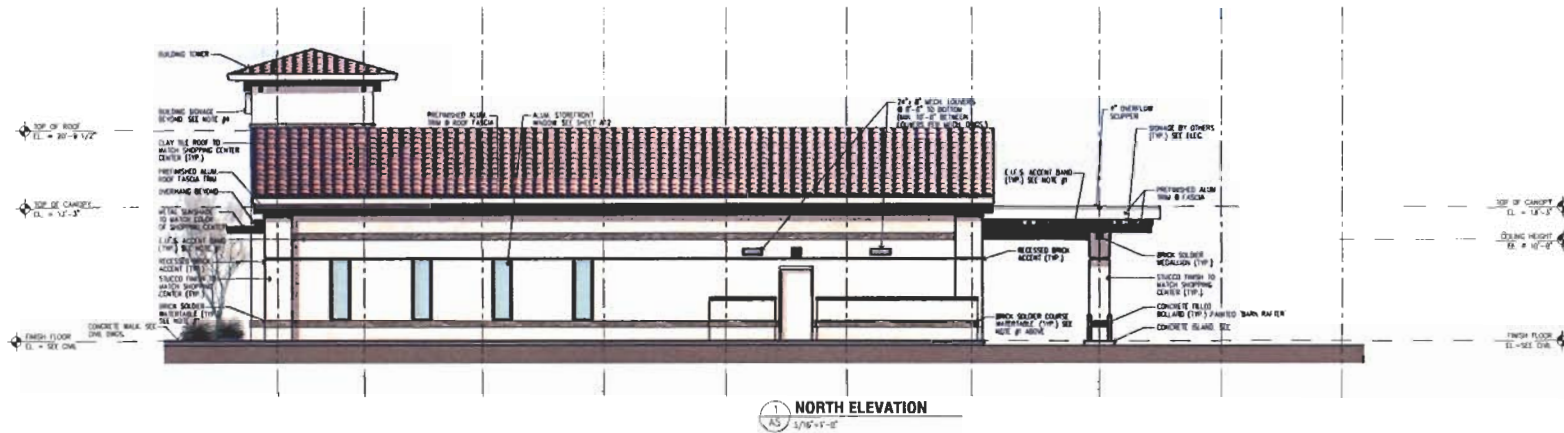


DEVELOPMENT  
REVIEW BOARD  
SUBMITTAL

**SOUTH ELEVATION  
EAST ELEVATION**

**A4**

Drawn by: C.T.  
Checked by: J.G.  
Date: 03/29/05  
Project Number: 04.30.03



#### ELEVATION NOTES

1. BRICK ACCENT BAND AND WATERTABLE TO BE FLUSH AT ALL STUCCO PLASTER & STUCCO, AND HAVE 1/2" PROJECTION ON AREA TYPICAL STUCCO WALLS (SEE TYPICAL PLASTERING).
2. REFER TO MECHANICAL DRAWINGS FOR LOCATION OF LOUVERS, PIPING, VENTS, AND OTHER THROUGH-WALL PENETRATIONS.
3. BANK EQUIPMENT BY OTHERS, E.G. TO COORDINATE LOCATION AND INSTALLATION BY BANK EQUIPMENT SUPPLIER.
4. BUILDING SIGNAGE BY OTHERS, E.G. TO COORDINATE LOCATION AND INSTALLATION BY SIGNAGE SUPPLIER (REFER TO ELECTRICAL DINGS FOR LIGHTING REQUIREMENTS).
5. LIGHT COLOR STUCCO SHALL BE PAINTED 'FAZZE COMPOSED' (CHIMNEY); DARK BROWN ACCENT STUCCO AND PAINTED METAL SHALL BE PAINTED 'FAZZE BURN HAT' (STUCCO) - SEE COLOR DRAWINGS.



TRANMELL CROW COMPANY  
**COMERICA BANK**  
 7306 EAST SHEA BLVD  
 SCOTTSDALE, ARIZONA 85260



DEVELOPMENT  
 REVIEW BOARD  
 SUBMITTAL

WEST SIDE  
 NORTH ELEVATION  
 WEST ELEVATION

PROJECT NUMBER	A5
DATE	05/24/05
DESIGNED BY	JJ
CHECKED BY	JJ
DATE	05/24/05

25-DR-2005  
 6/9/2005



**COMERICA BANK**  
**7306 E. Shea Blvd.**  
**Scottsdale, AZ**

## FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.  
AS SHOWN
- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☒ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
  - ☒ A. KNOX BOX
  - ☐ B. PADLOCK
  - ☐ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☒ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☐ 7. SUBMIT PLANS FOR A CLASS \_\_\_\_\_ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.  
 (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☐ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. \_\_\_\_\_  
 \_\_\_\_\_
- ☐ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF \_\_\_\_\_ AT \_\_\_\_\_ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) \_\_\_\_\_
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS \_\_\_\_\_
- ☒ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)
  - ☒ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
  - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: LT. HAZ. SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☐ G.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

## **Stipulations for Case: Comerica Branch Bank Case 25-DR-2005**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

### **PLANNING**

#### **APPLICABLE DOCUMENTS AND PLANS:**

##### **DRB Stipulations**

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevation sheets A4 and A5 submitted by DWL Architects with a staff receipt date of 6/9/2005.
  - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan sheet SP1 submitted by DWL Architects with a staff receipt date of 6/9/2005.
  - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan sheet L1 submitted by DWL Architects with a staff receipt date of 6/9/2005.

#### **ARCHITECTURAL DESIGN:**

##### **DRB Stipulations**

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Dooley wall fencing shall not be allowed.
8. All walls shall match the architectural color, materials and finish of the building(s).

##### **Ordinance**

- A. Determination of shopping center building height for evaluation of open space requirements under the Zoning Ordinance shall be subject to the review and approval of the assigned Project Coordinator.



**SITE DESIGN:****Ordinance**

- B. Determination of compliance with the open space and parking lot landscaping requirements, as established by the Zoning Ordinance, for the entire shopping center shall be subject to the review and approval of the assigned Project Coordinator.
- C. All property development standards are based on the size of the lot containing the entire shopping center.

**LANDSCAPE DESIGN:****DRB Stipulations**

- 9. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
- 10. Contrary to Planting Notes 10 and 13 on the landscape plan, species and locations of plant materials must be approved by the City of Scottsdale.
- 11. New plant material shall be selected solely from the ADWR Low Water Use / Drought Tolerant Plant List.

**Ordinance**

- D. In on site areas of mass planting of shrubs and ground covers, plant spacing must not be more than 7 feet between projected mature canopies.
- E. Fifty percent of trees provided shall be mature as defined in Article III of the Zoning Ordinance. Box size shall be consistent with Arizona Nursery Associations standards for the minimum caliper as required by the Zoning Ordinance.
- F. Contrary to Planting Notes 10 and 13 on the landscape plan, species and locations of plant materials must be approved by the City of Scottsdale in accordance with Article III, Zoning Ordinance.
- G. Contrary to indications in the Plant Legend, turf that is removed or destroyed cannot be restored unless the amounts provided by the entire shopping center are in compliance with limits set by City Code. The maximum permitted amount of water intensive landscape for the entire shopping center is 2,628 SF.

**EXTERIOR LIGHTING DESIGN:****DRB Stipulations**

- 12. All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line, except sign and landscape lighting.
- 13. The individual luminaire lamp shall not exceed 250 watts.
- 14. The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet.
- 15. All exterior light poles, pole fixtures, and yokes, including bollards (when utilized) shall be match the finish of existing fixtures in the center.
- 16. Incorporate into the project's design, the following:
  - Parking Lot and Site Lighting:
    - a. The maintained average horizontal illuminance level, at grade on the site, not including the drive-thru canopy area, shall not exceed 2.5 foot-candles.
    - b. The maintained maximum horizontal illuminance level, at grade on the site, not including the drive-thru canopy area, shall not exceed 10.0 foot-candles. All exterior luminaires shall be included in this calculation.

- c. The initial vertical illuminance at 6.0 foot above grade, along the south and west property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. All exterior luminaries shall be included in this calculation.

**Drive-thru Canopy Lighting:**

- d. The maintained average horizontal illuminance level, at grade under the canopy, shall not exceed 7.5 foot-candles. The maintained maximum horizontal illuminance level, at grade under the canopy, shall not exceed 15.0 foot-candles.
- e. Light fixtures under canopy shall be completely recessed into the canopy with flat lenses that are translucent and completely flush with the bottom surface of the canopy.
- f. Lights shall not be mounted on the top or sides of the canopy.
- g. The sides or fascias of the canopy shall not be illuminated.
- h. The canopy shall have a fascia extended a minimum of 8 inches below the bottom of lens for canopy mounted light fixtures.

**Building Mounted Lighting:**

- i. All luminaries shall be recessed or shielded so the light source is not directly visible from property line.

**Landscape Lighting**

- j. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
- k. Landscaping lighting shall only be utilized to accent plant material.
- l. All landscape lighting directed upward, shall be aimed away from property line.
- m. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property line.
- n. The landscape lighting lamp shall be an incandescent or halogen incandescent source, and shall not exceed 50 watts.

**VEHICULAR AND BICYCLE PARKING:**

**DRB Stipulations**

- 17. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

**Ordinance**

- H. An updated parking master plan shall be submitted for the entire shopping center prior to final plans approval, demonstrating compliance with requirements for total parking, handicapped parking, van accessible handicapped parking, and bicycle parking. The parking requirement shall be subject to the provisions of case 1-UP-2003 for as long as Pure Fitness remains a tenant unless otherwise approved in accordance with the stipulations for case 1-UP-2004 and the provisions of Article I, Zoning Ordinance.

**ADDITIONAL PLANNING ITEMS:**

**DRB Stipulations**

- 18. No exterior vending or display shall be allowed.
- 19. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 20. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

**RELEVANT CASES:**

**Ordinance**

- I. At the time of review, the applicable zoning, DRB, and Use Permit case(s) for the subject site were: 93-ZN-1984; 20-ZN-1992; 50-DR-1994; 50-DR-1994#2; 39-UP-2000; and 1-UP-2003.



## **ENGINEERING**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

### **APPLICABLE DOCUMENTS AND PLANS:**

21. Shea Scottsdale East shopping Center, prepared by Rick Engineering dated February 1995.

### **CIVIL IMPROVEMENT PLAN REQUIREMENTS:**

#### **DRB Stipulations**

22. Use or abandon all existing utility services provided to the property.

### **DRAINAGE AND FLOOD CONTROL:**

#### **DRB Stipulations**

23. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
  - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
24. Demonstrate consistency with the approved master drainage plan and report for Shea Scottsdale East shopping Center.

#### **Ordinance**

- J. On June 22, 2005, the City's Stormwater Management Division approved a Stormwater Storage Waiver for this development. This approval is based on the following conditions: This is an existing pad within the Shea Scottsdale East Shopping Center. Shea East Shopping Center meets the storm water storage requirements for the entire site.

### **ROADWAY, INTERSECTION, AND ACCESS DESIGN:**

25. Streets and other related improvements: Site is within the Shea Scottsdale East Shopping Center.

#### **DRB Stipulations**

26. The internal streets shall be private. The private street tracts shall be dedicated to provide emergency and service vehicle access and public utility construction and maintenance..
27. The developer shall design and construct driveways in general conformance with access requirements of the Fire Department minimum of 24" opening.
28. All sidewalks will be constructed of concrete.
29. Additional Stipulations as project demands.

**Ordinance**

K. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

L.

**INTERNAL CIRCULATION:****DRB Stipulations**

30. The developer shall provide a minimum parking-aisle width of 24 feet.

31. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.

32. The developer shall provide a minimum of 120 feet of queuing distance for all "drive-thrus" (Bank, fast-food, etc.).

33. The developer shall design the dead-end parking aisle in general conformance with the included detail.

**Ordinance**

M. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

**EASEMENTS AND DEDICATIONS****DRB Stipulations**

34. Indemnity Agreements:

- a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

**Ordinance**

N. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

**REFUSE:****DRB Stipulations**

35. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1, single enclosures

36. Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.

- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

**Ordinance**

O. Refuse enclosures are required as follows:

- (1) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.

P. Underground vault-type containers are not allowed.

Q. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

R. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

**WATER AND WASTEWATER STIPULATIONS**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

**DRB Stipulations**

37. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:

- a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
- b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

**WATER:****DRB Stipulations**

38. Basis of Design Report (Water):

- a. Not applicable.

**Ordinance**

S. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

**WASTEWATER:****DRB Stipulations**

39. Wastewater Basis of Design Report.

- a. Not applicable.

40. On-site sanitary sewer shall be privately owned and maintained.

41. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

**Ordinance**

- T. Privately owned sanitary sewer shall not run parallel within the waterline easement.
- U. All sewage discharged from this development shall meet local and federal pretreatment standards for sewage discharge. The facility may require a City Industrial Users Permit and related monitoring and sampling facility. All development within industrial (I-1) zoned districts shall provide a monitoring manhole.

**CONSTRUCTION REQUIREMENTS**

**DRB Stipulations**

- 42. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
  - a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.